

216 ACRES | SHERMAN, TX | STRATEGIC LOGISTICS SITE

Map Link: 1900 E Tuck Street Sherman, TX – North Texas

Site Overview

- **Acreage:** 216 acres
 - **Ownership:** Unencumbered
 - **Utilities:** City Water and Power on Site
 - **Access:** US-82 & N. Grand Ave
 - **Rail:** Adjacent to BNSF rail line
 - **Location:** East Sherman, Texas
-

Positioned on Sherman's east side with highway access, rail adjacency, and utilities to site — ideal for concrete, materials, or industrial operations.



8888CRE

WHERE POWER MEETS PERFORMANCE

Proprietary & Confidential

Land Opportunity

216 ac | Sherman, Texas

216-acre strategic site with direct access to US-82/US-75 and utilities—ideally suited for concrete, materials storage, and long-term industrial development.



Highway
US-82 & US-75



Railway
BNSF



Size
216 ac



Utilities
city water | power
lines to site

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REGIONAL ACCESS & LOGISTICS



Convenient access to Dallas-Fort Worth, Oklahoma, and major regional logistics corridors.

Transportation Advantages:

- US-75 and US-82 access
- BNSF rail
- 1 hr to DFW and Dallas Love Field Airports

TRANSPORTATION CONNECTIVITY

40 Miles to Dallas – Gateway to North Texas Growth

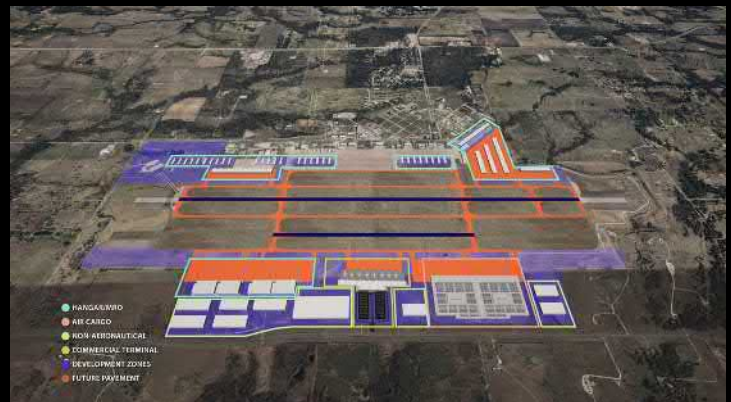


Highway connectivity via U.S. 75 (north-south) and U.S. 82 (east-west) enables efficient dispatch of trucks and inbound shipments .



BNSF rail adjacency supports future bulk material delivery potential, while proximity to DFW International Airport and Dallas Love Field ensures streamlined corporate travel and logistics coordination.

The North Texas Regional Airport provides runway capacity for large freight and industrial aircraft and supports efficient logistics and material movement.

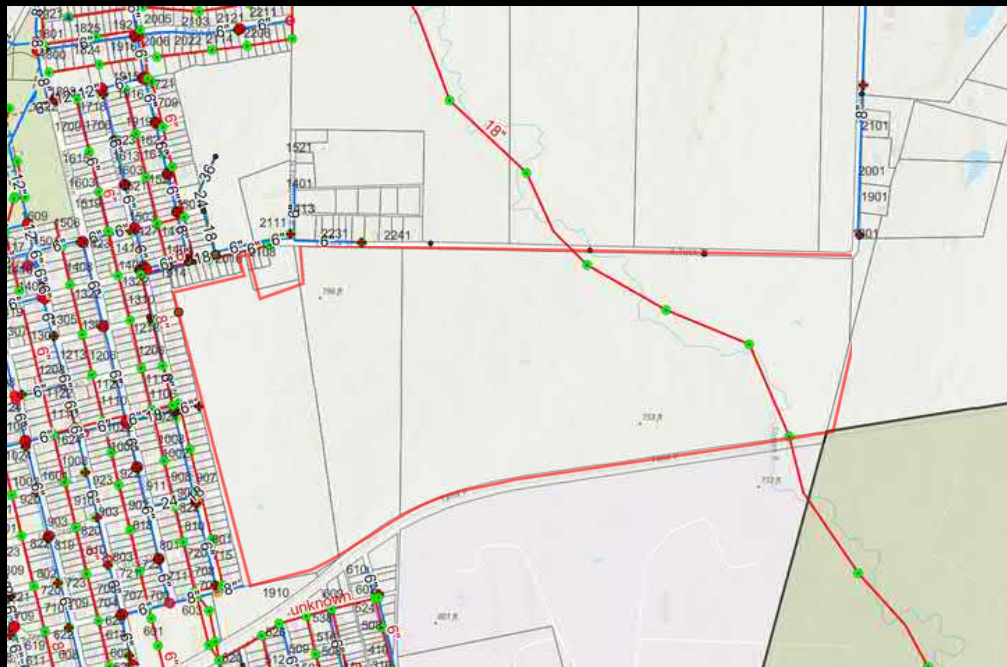


Legend

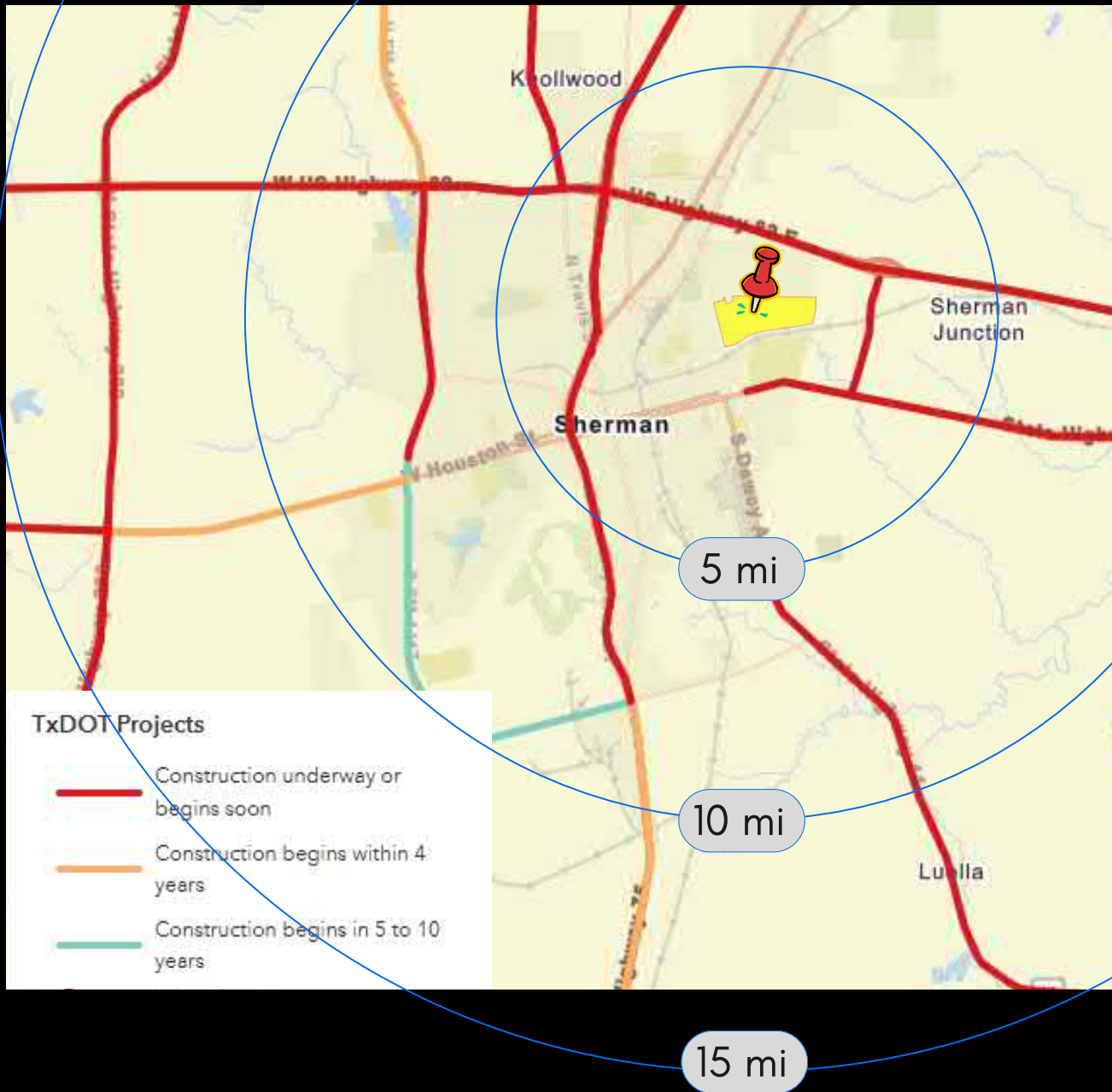
- Utilities
- Sewer Mains (Sherman)
- Water Mains (Sherman)
- Fiber
- Electric Power Transmission Lines (HIFLD)

The map displays the proposed building site (outlined in brown) and surrounding infrastructure. Key features include:

- Water Mains (Sherman):** 12" water, 6" water, 8" waste, 6" water, 8" waste, 6" water, 8" waste, 6" water.
- Sewer Mains (Sherman):** 18" waste.
- Fiber:** Fiber.
- Electric Power Transmission Lines (HIFLD):** BNSF Railroad.
- Other Infrastructure:** Austin College, Nortex Tree Service, E. Lewis St, E. Richards St, N. Cross Ave, N. Cleveland Ave, E. Monroe Ave, E. Throck St, N. 10th St, N. 11th St, N. 12th St, N. 13th St, N. 14th St, N. 15th St, N. 16th St, N. 17th St, N. 18th St, N. 19th St, N. 20th St, N. 21st St, N. 22nd St, N. 23rd St, N. 24th St, N. 25th St, N. 26th St, N. 27th St, N. 28th St, N. 29th St, N. 30th St, N. 31st St, N. 32nd St, N. 33rd St, N. 34th St, N. 35th St, N. 36th St, N. 37th St, N. 38th St, N. 39th St, N. 40th St, N. 41st St, N. 42nd St, N. 43rd St, N. 44th St, N. 45th St, N. 46th St, N. 47th St, N. 48th St, N. 49th St, N. 50th St, N. 51st St, N. 52nd St, N. 53rd St, N. 54th St, N. 55th St, N. 56th St, N. 57th St, N. 58th St, N. 59th St, N. 60th St, N. 61st St, N. 62nd St, N. 63rd St, N. 64th St, N. 65th St, N. 66th St, N. 67th St, N. 68th St, N. 69th St, N. 70th St, N. 71st St, N. 72nd St, N. 73rd St, N. 74th St, N. 75th St, N. 76th St, N. 77th St, N. 78th St, N. 79th St, N. 80th St, N. 81st St, N. 82nd St, N. 83rd St, N. 84th St, N. 85th St, N. 86th St, N. 87th St, N. 88th St, N. 89th St, N. 90th St, N. 91st St, N. 92nd St, N. 93rd St, N. 94th St, N. 95th St, N. 96th St, N. 97th St, N. 98th St, N. 99th St, N. 100th St.



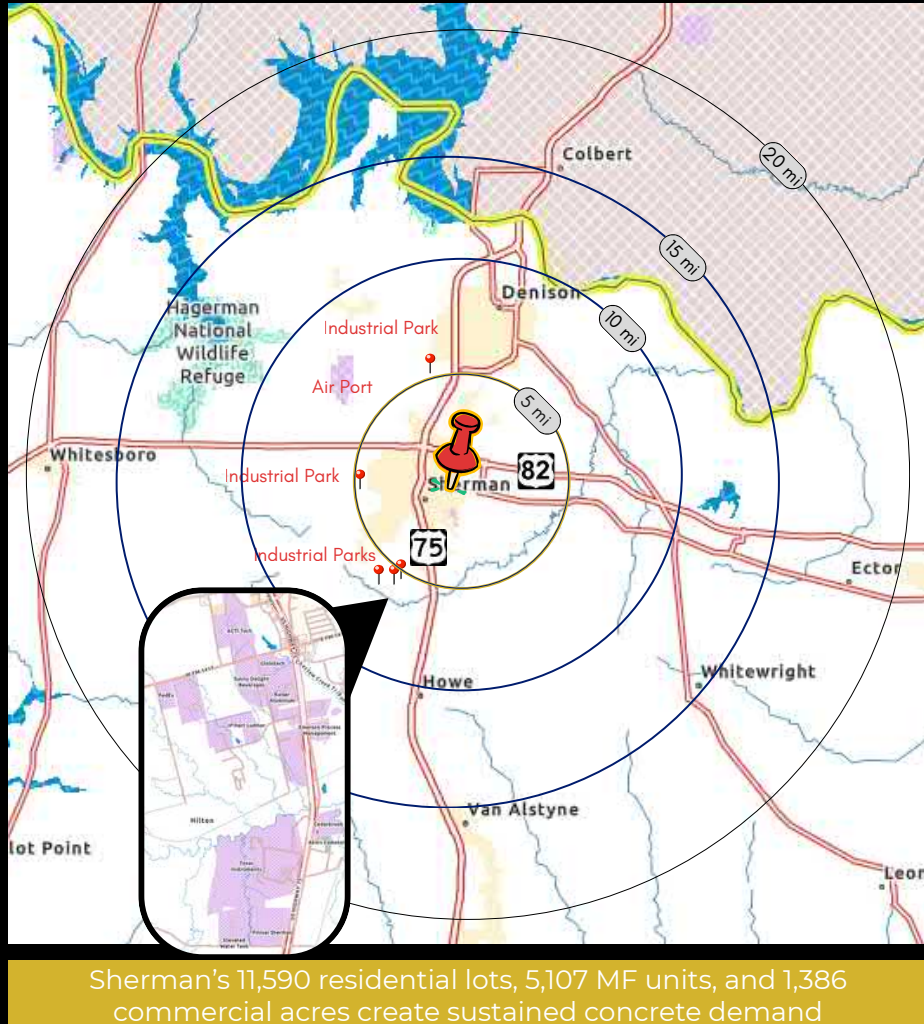
MAP - TXDOT PROJECTS



TTxDOT investments across US-75, US-82, and Spur 1417 establish Sherman as a growing logistics corridor supporting long-term construction and truck mobility for concrete operations.

MARKET DEMAND & CONSTRUCTION DRIVERS

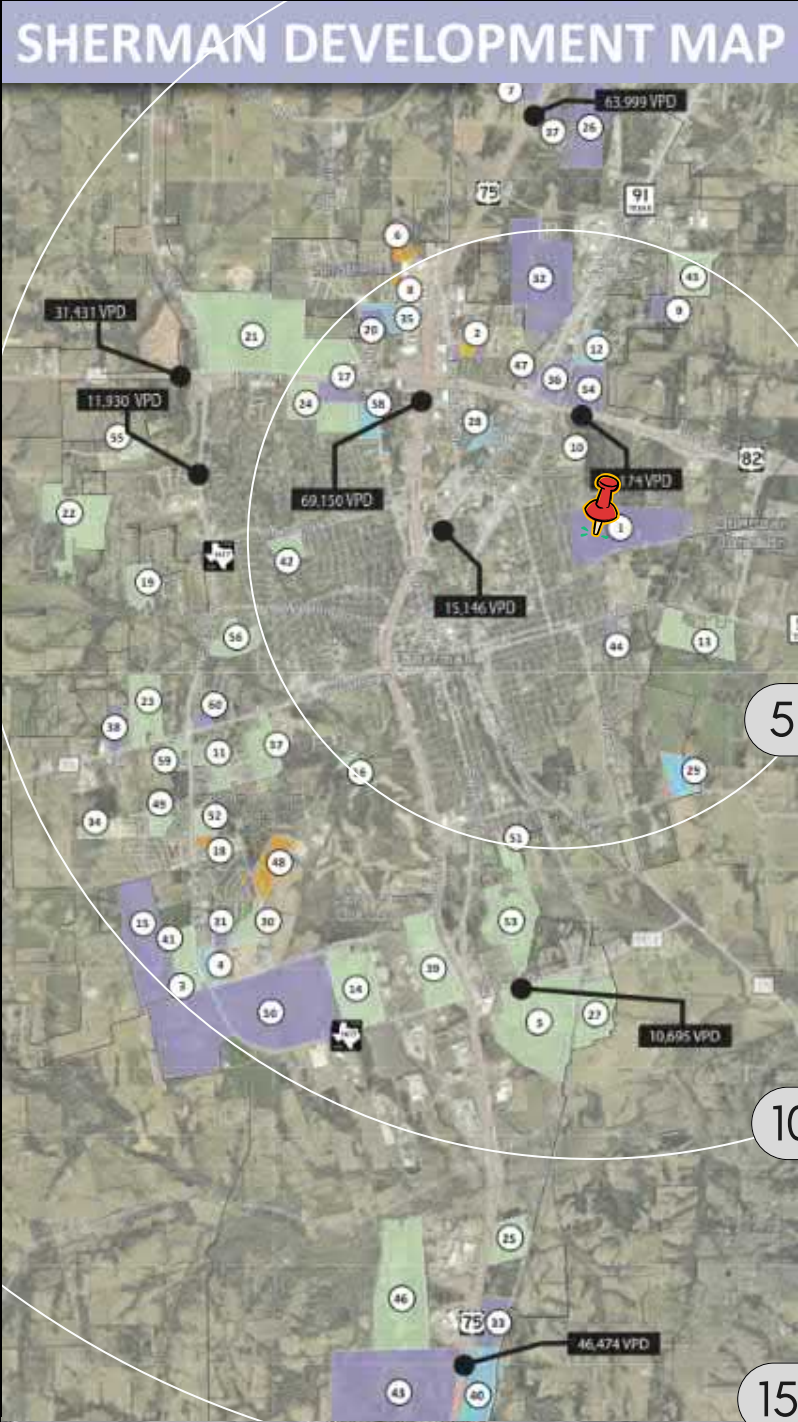
Concrete demand driven by Sherman's residential, commercial, and industrial expansion.



Sherman's active pipeline of over 11,590 homes, 5,107 multifamily units, and 1,386 commercial acres is concentrated along US-75 and US-82, directly surrounding the site. This sustained construction activity drives long-term concrete demand and positions the property within a short-haul delivery radius for multiple residential and industrial zones.

HI-DENSITY DEVELOPMENT WITHIN 15 MILES

High-density construction zones within 5-15 miles of the site.

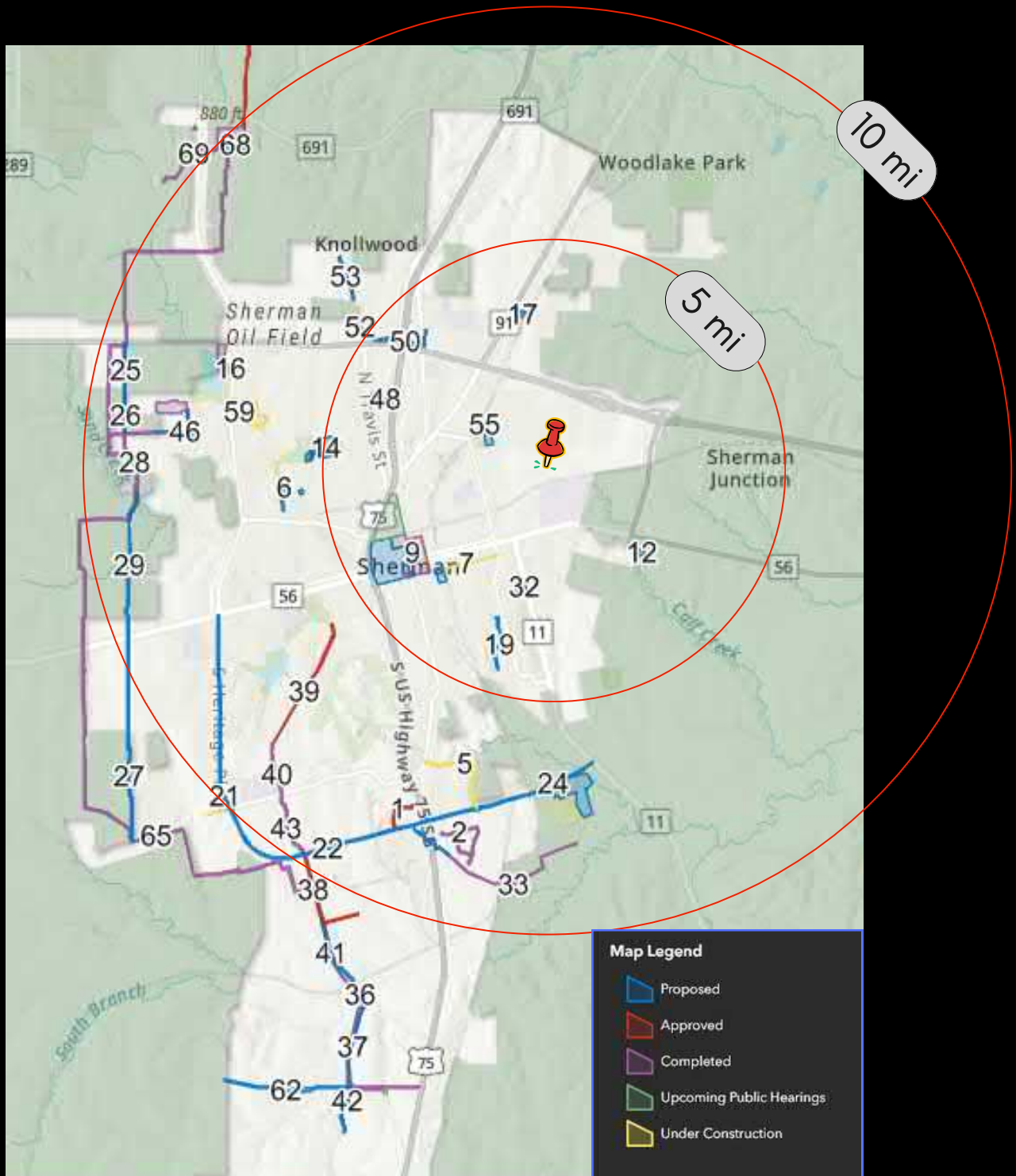


Sherman's development pipeline generates continuous concrete demand within immediate haul range.

Development Status			
	Single-family Lots	Multi-family Units	Commercial
Construction/ Building	4,575 lots	2,562 units	826 acres
Engineering Review	1,029 lots	1,871 units	15 acres
Planning	5,749 lots	Varies	545 acres
Total	11,590 lots	5,107 units	1,386 acres

CAPITAL IMPROVEMENT PROJECTS

City of Sherman Capital Projects – Infrastructure Driving Regional Growth



City and state led improvements reinforce Sherman's long-term growth trajectory and positions the site at the center of expansion.

REGIONAL ACCESS & MARKET REACH



Location & Market Reach

Sherman is located 40 miles north of the Dallas–Fort Worth Metroplex, one of the fastest-growing markets in the nation. Its position makes it a natural logistics hub for construction and materials distribution throughout North Texas and southern Oklahoma. As the largest city in the tri-county area and the economic center for the 138,000-person Sherman–Denison region, Sherman supports sustained commercial, industrial, and infrastructure expansion.



40 miles
from
DFW



Largest
city in the
tri-county
region



Major Texas
semiconductor
corridor
(TI, GlobiTech)



Serves
138,000
population

Sherman's regional position, highway access, and pro-business environment support efficient concrete operations and materials distribution.

Sherman Technology & Industrial Ecosystem

Sherman's financial ecosystem is anchored by major semiconductor manufacturers including Texas Instruments, GlobalWafers and GlobiTech, and Coherent. These companies are supported by a growing base of advanced manufacturing, IT, and automation firms. Together, they represent more than \$45 billion in construction and long-term industrial investment, which drives sustained demand for concrete, materials, and logistics infrastructure.

Sherman has become the Tech Hub of North Texas, with leading firms such as II-VI, GlobiTech, and Texas Instruments expanding operations in the region. Texas Instruments is constructing multiple 300 millimeter semiconductor wafer fabrication facilities with a total investment of roughly \$30 billion. This concentration of technology and manufacturing activity positions Sherman as a logical location for suppliers, materials companies, and logistics operators.

Economic Core Drivers

- Texas Instruments (TI)
- GlobalWafers / GlobiTech
- Coherent Corp
- Texas Metals & Plastics (TMP)
- TMC (Texas Manufacturing Company)
- Santec
- TEGNA
- Cigna Technology Operations
- Capio
- Alorica
- Function4
- Enterprise Technology LLC

FEMA MAP - FLOOD PLAIN

Floodplain shown for due-diligence reference.



MAP -OIL WELLS

Wells shown for due-diligence reference.

